

April 2, 2019

ADDENDUM NO. 1 – LOCKHART FIRE STATION #2 ADDITION

TO THE PROJECT MANUAL AND DRAWINGS FOR CITY OF LOCKHART, ADDITION TO FIRE STATION #2.

The following items shall be considered a part of the Contract Documents, including the Project Manual, the Specifications, and the Drawings for the above named project as though they had been issued at the same time and incorporated integrally with the Project Manual:

GENERAL:

ARCHITECT: Name and logo of architecture firm changed from Steinbomer, Bramwell & Vrazel, Architects to Studio Steinbomer since the original bid documents were issued. All correspondence going forward will be with Studio Steinbomer.

IMPORTANT: The **correct address** for the existing building and new Addition is 1911 Borchert Drive, which is BEHIND the Municipal Court building at 1914 West San Antonio St. /Highway 142, (not 1916).

CONTINGENCY: Contractor shall include a contingency allowance of \$15,000.

CITY OF LOCKHART Projects are not taxable and a letter will be provided.

Permits and Fees: The City will Pay or waive costs associated with Permits and Impact fees. *Contractor shall pay re-Inspection fees.*

Bid Form: Bidders should use the attached Bid Form 004113 instead of the referenced AIA Bid form. This includes the corrected address.

Base Bid shall include all items as drawn or specified unless modified by Addendum.

Unit Prices: No Unit Prices are enumerated or required.

Taps and fees: City of Lockhart will coordinate and provide domestic and fire water and sewer taps and piping to within five feet of the building. Contractor shall make connections.

Final Survey is not required

Allowances shall include those included herein, including: Special Inspections \$5,000, and a **General Contractor Contingency of \$15,000**. Also allow for mandated tree additions at a value of \$3,000 as described under Drawings below.

Fire Pressure Test: If required for bidding, most recent tests results are available.

Clarifications from questions at Pre-Bid Conference:

Fire Suppression: Intent and scope of documents includes new fire suppression system in the addition to also include the existing Apparatus building.

Electrical: MC cable is allowed per Engineer in walls in lieu of specified EMT.
Refer to Project Manual for Deduct Alternate regarding generator and associated systems.

Roof questions:

- Roof finish to be Almond color with a minimum 3-year aged solar reflectance index of 64.
- Standing seam Roof includes “snap-lock” roof panels
- Insulation to R=38 required per ComCheck

Frame wall furr-out inside exterior walls on purlins. Described in drawings as 2 inch furring which is not available. 1-5/8 inch is preferred and 2-1/2 inch is allowed where necessary for certain piping.

Specifications and Drawings:

SPECIFICATION ITEMS

General reference:

Cabinetry: Where the term “Cleat” is used on the drawings, it can be assumed as painted to match the adjacent wall or other surface.

Division 064116 general clarifications (see also Added Drawing below):

Finish for Speed Brace type hardware to be white.

Composite wood products for shelving and cabinetry as called out in drawings. Typically plywood with paint-grade veneer or plastic laminate. No MDF or particle-board.

Plastic laminate facing on backs of doors are allowed to be CLS.

Casters for the ADA/TAS required removable kitchen cabinet are not described or specked to allow fabricator’s best practice. They can be described as are non-locking, soft surfaced (non-metallic, non-marking) and swivel mounted. Height to satisfy fabricator’s best practice—but casters should be rated to carry the weight of the cabinet and potential surcharge from user deposited materials. Drawing indicates anticipated height allowed for casters and that can be modified as needed as long as that change is accommodated in the bottom of the cabinet and not the overall height.

Cabinet hardware called out as “Wire Pulls” is meant to indicate a generic but medium quality standard wire pull—not a bar. 4” or 5” is acceptable as long as free area between back of pull and cabinet face complies with requisite ADA/TAS clearances.

Where self-closing hinges are utilized or called out there is no need for Magnetic catches. Silencer pads on strike side of cabinet door will suffice.

DRAWING ITEMS:

Architectural:

Sheet A-100 Site Plan (already included) indicates three new trees near HC parking space. Contractor is to provide trees as described and appropriate sized holes and bedding material and staking as required and arrange requisite watering at intervals and for period required, or provide minimal irrigation system. Allow \$3,000 for this work.

Sheet A-205: *Additional Architectural drawing* illustrating clarified information on shelving in the Laundry Room and Tech Closet as of date of this Addendum. These drawings clarify questions about shelving notes on original plans.

Sheet A-101 Cover Sheet is also refreshed and attached, only to reflect the addition of Sheet A-205 in the Drawing Index.

Structural:

Sheet S-103 (Already included) requires special inspections and the list may be modified/reduced according to Local Building Official and is expected to be a limited scope on this project. The Contractor will allow \$5,000.

Structural drawings in their entirety are included in the posting on the City of Lockhart website as of 03.27.2019.

***** END OF ADDENDUM NO. 1 *****

Copies of Addendum sent to:

Steven Lewis, City Manager, City of Lockhart

Shane Mondin, Building Official, City of Lockhart

Sean Kelley, Public Works

City of Lockhart Website/ RFQ's

DOCUMENT 004113 - BID FORM - STIPULATED SUM (SINGLE-PRIME CONTRACT)

1.1 BID INFORMATION

- A. Bidder: _____.
- B. Project Name: A New Building for Fire Station #2
- C. Project Location: 1911 Borchert Drive, Lockhart Texas 78644.
- D. Owner: City of Lockhart
- E. Architect: Steinbomer, Bramwell & Vrazel, Architects.

1.2 CERTIFICATIONS AND BASE BID

- A. Base Bid, Single-Prime (All Trades) Contract: The undersigned Bidder, having carefully examined the Procurement and Contracting Requirements, Conditions of the Contract, Drawings, Specifications, and all subsequent Addenda, as prepared by Steinbomer, Bramwell & Vrazel, Architects and Architect's consultants, having visited the site, and being familiar with all conditions and requirements of the Work, hereby agrees to furnish all material, labor, equipment and services, including all scheduled allowances, necessary to complete the construction of the above-named project, according to the requirements of the Procurement and Contracting Documents, for the stipulated sum of:
 - 1. _____ Dollars (\$_____).
 - 2. The above amount may be modified by amounts indicated by the Bidder on the attached Document 004322 "Unit Prices Form."
 - 3. Deduct Alternate No. 1: Standby Power Generator System, If selected by City: Deduct amount of _____ Dollars (\$_____).

1.3 BID GUARANTEE

- A. The undersigned Bidder agrees to execute a contract for this Work in the above amount and to furnish surety as specified within 10 days after a written Notice of Award, if offered within 60 days after receipt of bids, and on failure to do so agrees to forfeit to Owner the attached cash, cashier's check, certified check, U.S. money order, or bid bond, as liquidated damages for such failure, in the following amount constituting five percent (5%) of the Base Bid amount above:
 - 1. _____ Dollars (\$_____).
- B. In the event Owner does not offer Notice of Award within the time limits stated above, Owner will return to the undersigned the cash, cashier's check, certified check, U.S. money order, or bid bond.

1.4 TIME OF COMPLETION

- A. The undersigned Bidder proposes and agrees hereby to commence the Work of the Contract Documents on a date specified in a written Notice to Proceed to be issued by Architect, and shall fully complete the Work within 280 calendar days.

1.5 ACKNOWLEDGEMENT OF ADDENDA

- A. The undersigned Bidder acknowledges receipt of and use of the following Addenda in the preparation of this Bid:

1. Addendum No. 1, dated _____.
2. Addendum No. 2, dated _____.
3. Addendum No. 3, dated _____.
4. Addendum No. 4, dated _____.

1.6 BID SUPPLEMENTS

- A. The following supplements are a part of this Bid Form and are attached hereto.

1. Bid Form Supplement - Unit Prices.
2. Bid Form Supplement - Allowances.

1.7 CONTRACTOR'S LICENSE

- A. The undersigned further states that it is a duly licensed contractor, for the type of work proposed, in Lockhart, Texas and that all fees, permits, etc., pursuant to submitting this proposal have been paid in full.

1.8 SUBMISSION OF BID

- A. Respectfully submitted this ____ day of _____, 2019.
- B. Submitted By _____ (Name of bidding firm or corporation).
- C. Authorized Signature: _____ (Handwritten signature).
- D. Signed By: _____ (Type or print name).
- E. Title: _____ (Owner/Partner/President/Vice President).
- F. Witness By: _____ (Handwritten signature).
- G. Attest: _____ (Handwritten signature).
- H. By: _____ (Type or print name).

- I. Title: _____ (Corporate Secretary or Assistant Secretary).
- J. Street Address: _____.
- K. City, State, Zip _____.
- L. Phone: _____.
- M. License No.: _____.
- N. Federal ID No.: _____ (Affix Corporate Seal Here).

END OF DOCUMENT 004113

LOCKHART FIRE STATION #2

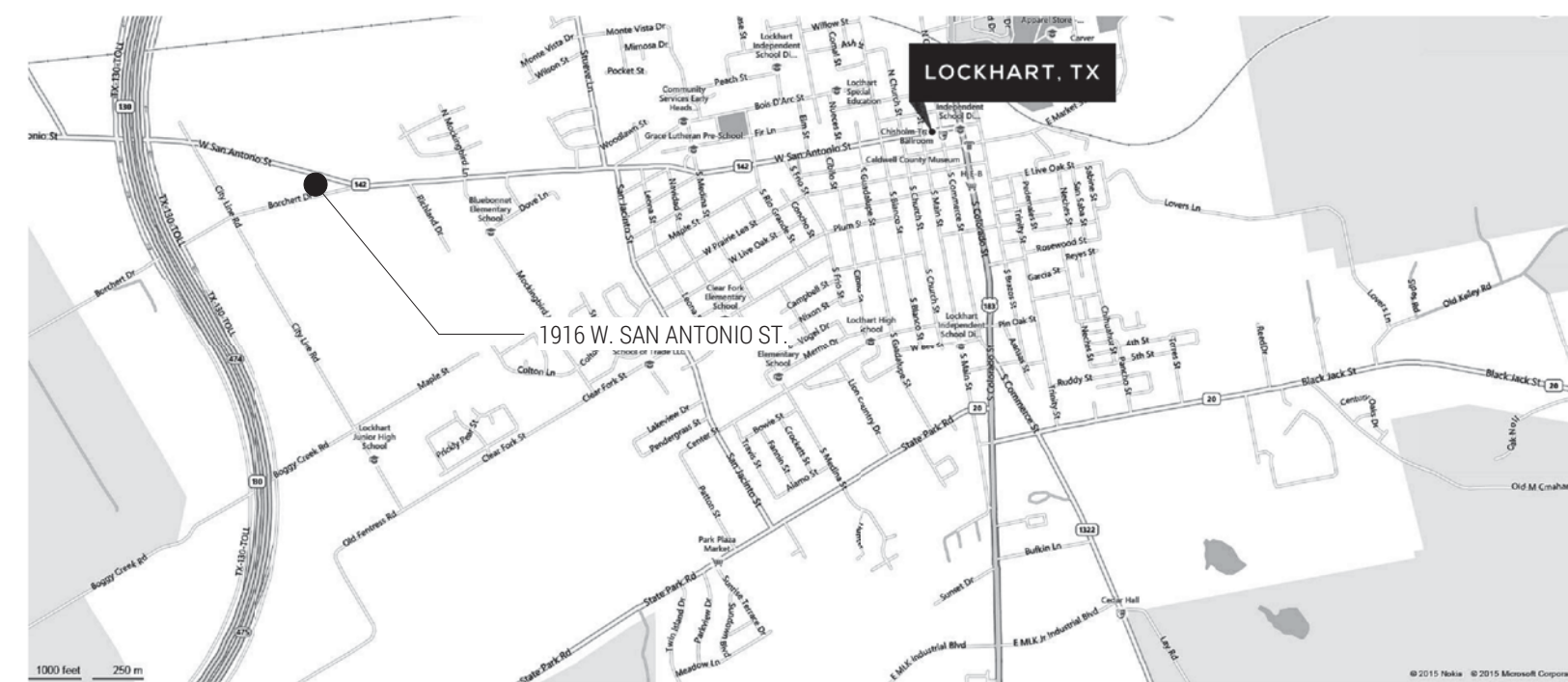


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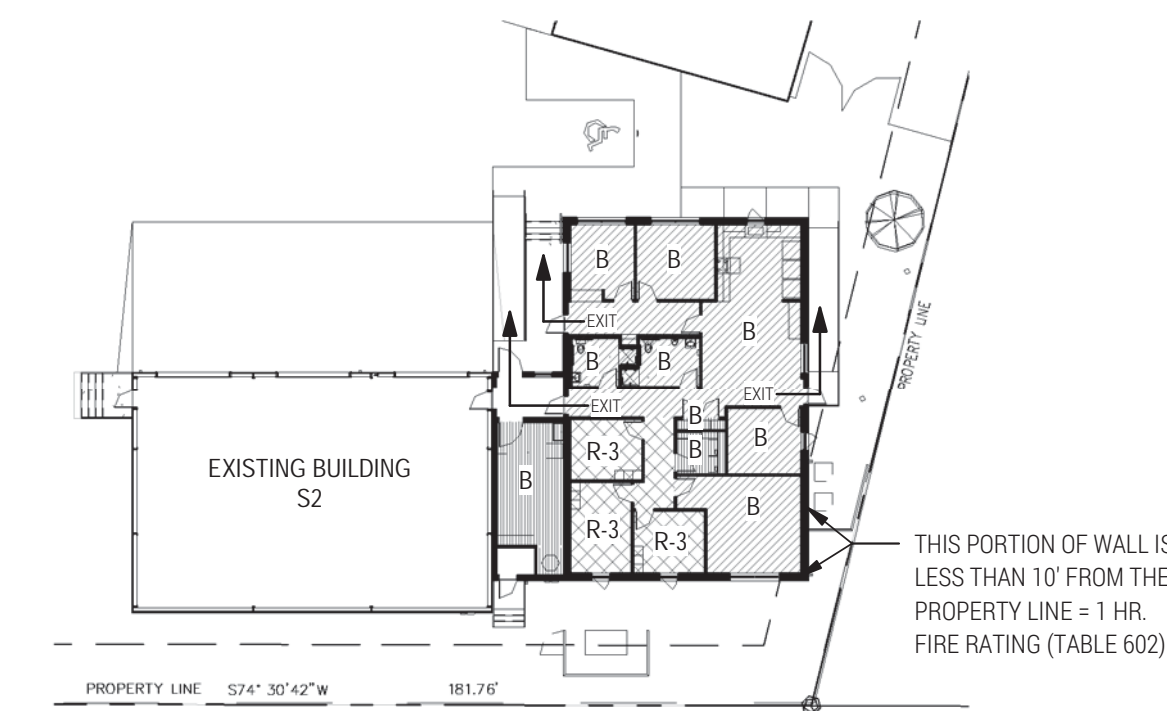


VICINITY MAP

NOT TO SCALE



CODE PLAN



PROJECT DATA

ADOPTED CODE: 2015 INTERNATIONAL BUILDING CODE WITH LOCAL AMENDMENTS
2015 INTERNATIONAL MECHANICAL CODE
2015 INTERNATIONAL PLUMBING CODE
2015 INTERNATIONAL FUEL AND GAS CODE
2015 INTERNATIONAL FIRE CODE WITH LOCAL AMENDMENTS
2015 INTERNATIONAL ENERGY CONSERVATION CODE
2014 NATIONAL ELECTRIC CODE
2012 TEXAS ACCESSIBILITY STANDARDS

BUILDING AREA: NEW BUILDING (CONDITIONED) = 2,369 S.F.
NEW STORAGE (PARTIALLY HEATED) = 338 S.F.
EXISTING APPARATUS BUILDING = 2,400 S.F.
FIRE STATION = 5,107 S.F. TOTAL AREA

BASIC FUNCTIONS: FIRE STATION

TYPE OF CONSTRUCTION: TYPE 2B
MAXIMUM TABLE 503 ALLOWABLE AREA = 23,000 S.F.

OCCUPANCY GROUP: B (303.1, EXCEPTION 1,2,3): OFFICE
R3 (310.1), CONGREGATE LIVING: SLEEPING QUARTERS FOR 7 PEOPLE
S2 (311.2): STORAGE

*B OCCUPANCY MOST RESTRICTIVE WHEN SPRINKLERED AND USED FOR CODE ANALYSIS

EXITING: 2 EXITS REQUIRED (1015.1) W/ MAX. 75'-0" COMMON PATH OF TRAVEL DISTANCE
2 PROVIDED FROM B-OFFICE SPACE, 1 FROM R-3 CORRIDOR

FIRE SEPARATIONS: NON-SEPARATED OCCUPANCY (508.3)
1-HR. FIRE PARTITIONS BETWEEN SLEEPING AREAS
• 420.1, 420.2
• 709.3, EXCEPTION 2; 709.4

FIRE SPRINKLERS: • REQUIRED FOR GROUP R PER 903.2.8
• PROVIDING FIRE SPRINKLERING THROUGHOUT ELIMINATES THE NEED TO RATE THE CORRIDORS (1018)
• NFPA 13R PER 903.3.12, OR NFPA 3 (903.3.1.1)

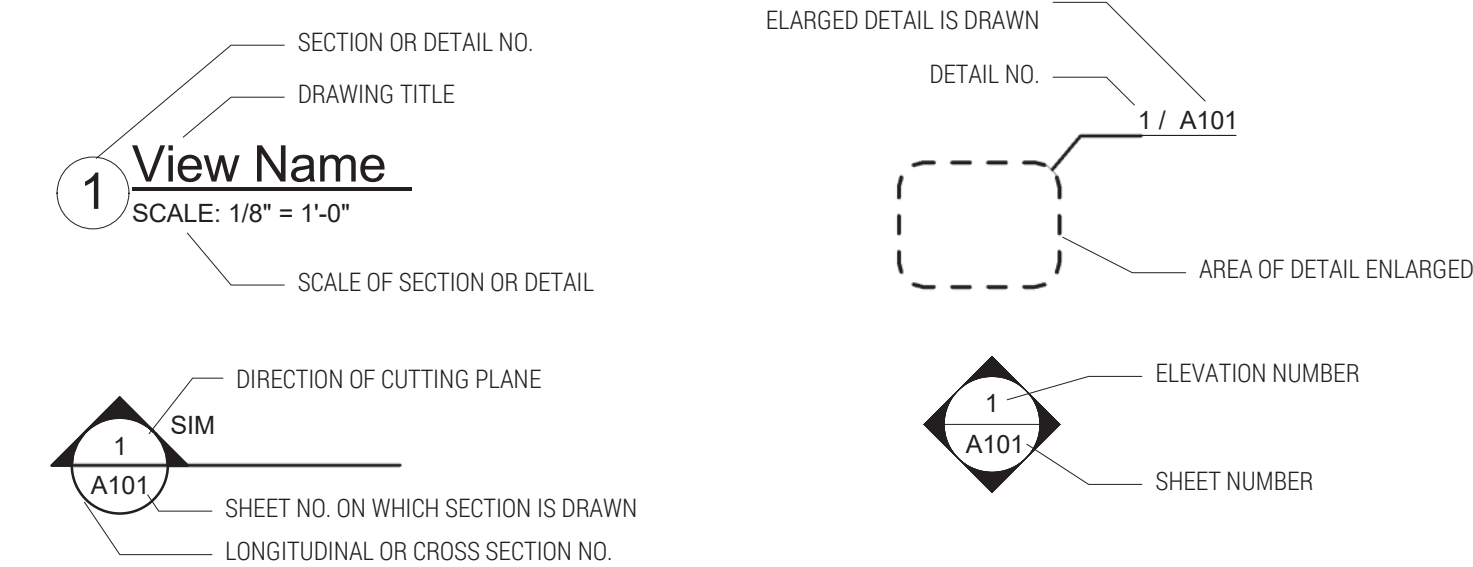
FIRE ALARM SYSTEMS: • MANUAL FIRE ALARM NOT REQUIRED (907.2.2); FIRE ALARM SYSTEM INCLUDED
• AUTOMATIC SMOKE DETECTION NOT REQUIRED IN HABITABLE SPACES (907.2.10.2); ARE
REQUIRED IN AREAS OTHER THAN HABITABLE SPACES (907.2.10.2)
• SMOKE ALARMS ARE REQUIRED IN GROUP R3 PER 902.2.11.2

DRAWING INDEX

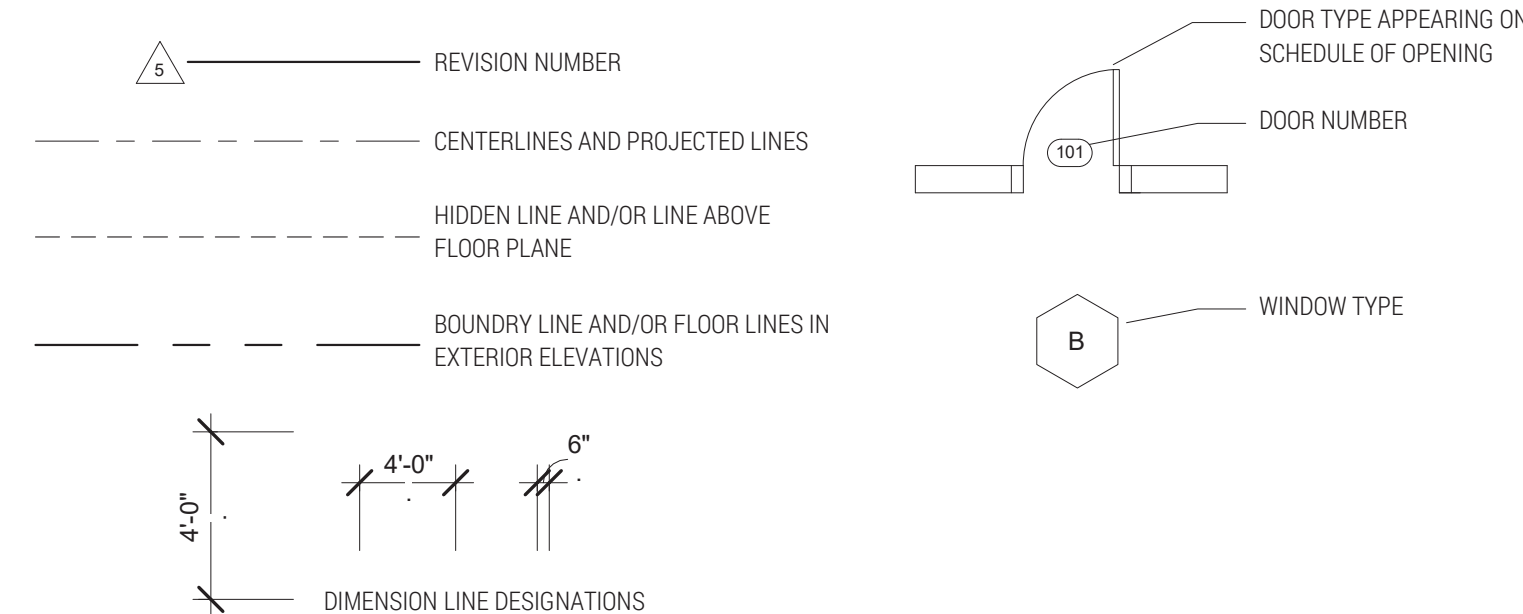
SHEET NO:	DESCRIPTION
A-001	COVER SHEET
A-002	APPEARANCE STANDARDS COMPLIANCE
A-100	SITE PLAN
A-101	DEMOLITION FLOOR PLAN
A-102	FLOOR PLAN
A-110	REFLECTED CEILING PLAN
A-201	EXTERIOR ELEVATIONS
A-202	EXTERIOR ELEVATIONS
A-203	INTERIOR ELEVATIONS & ENLARGED PLANS
A-204	INTERIOR ELEVATIONS & MILLWORK DETAILS
A-205	INTERIOR ELEVATIONS & MILLWORK DETAILS
A-301	BUILDING SECTIONS
A-401	WALL SECTIONS & DETAILS
A-501	PARTITION TYPES AND DETAILS
A-601	DOOR & WINDOW SCHEDULE
A-602	FINISH SCHEDULE
A-603	SIGNAGE SCHEDULE
S-101	STRUCTURAL NOTES
S-102	STRUCTURAL NOTES
S-103	SPECIAL INSPECTIONS
S-110	ROOF ATTACHMENT AND WIND UPLIFT PLAN
S-201	FOUNDATION PLAN
S-202	FRAMING PLAN
S-301	TYPICAL FOUNDATION DETAILS
S-311	TYPICAL STEEL DETAILS
S-401	FOUNDATION DETAILS
S-402	FOUNDATION DETAILS
S-411	ROOF DETAILS
S-421	WIND BRACE ELEVATIONS AND DETAILS
E-100	ELECTRICAL SYMBOLS LEGEND
E-101	LIGHTING FIXTURE SCHEDULE
E-200	ELECTRICAL SITE PLAN
E-201	ELECTRICAL FLOOR PLAN - LIGHTING
E-211	ELECTRICAL FLOOR PLAN - POWER
E-221	ELECTRICAL FLOOR PLAN - HVAC POWER
E-231	ELECTRICAL FLOOR PLAN - SPECIAL SYSTEMS
E-300	ELECTRICAL DETAILS
E-400	ONE LINE DIAGRAM
E-500	ELECTRICAL PANELBOARD SCHEDULES
M-100	MECHANICAL SYMBOL LEGEND
M-101	MECHANICAL SCHEDULES
M-201	MECHANICAL FLOOR PLAN - HVAC
M-211	MECHANICAL FLOOR PLAN - PIPING
M-300	MECHANICAL DETAILS
P-100	PLUMBING SYMBOLS LEGEND
P-200	PLUMBING FLOOR PLAN - UNDERFLOOR
P-201	PLUMBING FLOOR PLAN - LEVEL 1
P-300	PLUMBING DETAILS
P-301	PLUMBING DETAILS
P-400	PLUMBING RISER DIAGRAMS

GRAPHIC SYMBOLS & CONVENTIONS

GRAPHIC SYMBOLS



GRAPHIC CONVENTIONS



PROJECT DIRECTORY

OWNER: CITY OF LOCKHART
308 W. SAN ANTONIO ST.
LOCKHART, TX 78644
TEL: (512) 398-5550
EMAIL: slewis@lockhart-tx.org
CONTACT: STEVE LEWIS

ARCHITECT: STEINBOMER, BRAMWELL & VRAZEL, ARCHITECTS
1400 S. CONGRESS AVE., STE B202
AUSTIN, TX 78704
TEL: 512.479.0922
FAX: 512.477.4668
EMAIL: robert@steinbomer.com
CONTACT: ROBERT STEINBOMER

STRUCTURAL ENGINEER: JQ + TSEN
210 BARTON SPRINGS ROAD
SUITE 250
AUSTIN, TX 78704
TEL: 512.474.4001
EMAIL: jbuchanan@jqttsen.com
CONTACT: JAMIE BUCHANAN

MEP ENGINEERS: HMG & ASSOCIATES, INC.
9606 N. MOPAC EXPY., SUITE 350
AUSTIN, TX 78758
TEL: (512) 794-8234
EMAIL: trwin@hmgassociates.com
CONTACT: THOMAS IRWIN

OCCUPANT LOAD:

ROOM NAME	AREA	OCCUPANCY	SQ.FT/ OCCUPANT PER TABLE 1004.1.1	NUMBER OF OCCUPANTS
BUSINESS AREAS	1,845 FT ²	B	100 GROSS	22
RESIDENTIAL	497 FT ²	R3	200 GROSS	3
STORAGE AREAS	365 FT ²	B	300 GROSS	2
GARAGE	2,400 FT ²	S2	200 GROSS	12
TOTAL AREA	5,107 FT²		TOTAL OCCUPANTS	39

PLUMBING CALCULATIONS:

RESIDENTIAL (R-3) AREA:
1.5 MALE = 15 TOILET, 15 LAV., 188 SHOWER
1.5 FEMALE = 15 TOILET, 15 LAV., 188 SHOWER

BUSINESS (B) AREA:
12 MALE = 48 TOILET, 3 LAV.
12 FEMALE = 48 TOILET, 3 LAV.

EXT'G. GARAGE (S-2): NOT INCLUDED IN CALCULATIONS

TOTAL BLDG. PLUMBING REQUIREMENTS: 126 TOILETS, 9 LAVS., 376 SHOWERS
TOTAL BLDG. PLUMBING FIXTURES PROVIDED: 2 TOILETS, 1 URINAL, 2 LAVS., 2 SHOWERS

A NEW BUILDING FOR
LOCKHART FIRE STATION #2
1916 W. SAN ANTONIO ST., LOCKHART, TX 78644

ADDENDA #1 - 100% CONST. DOCS.

DATE:	12/19/18
DRAWN:	BP/TJ
SCALE:	AS NOTED

No.	Description	Date
1	Revision 1	4/2/19

COVER SHEET

A-001



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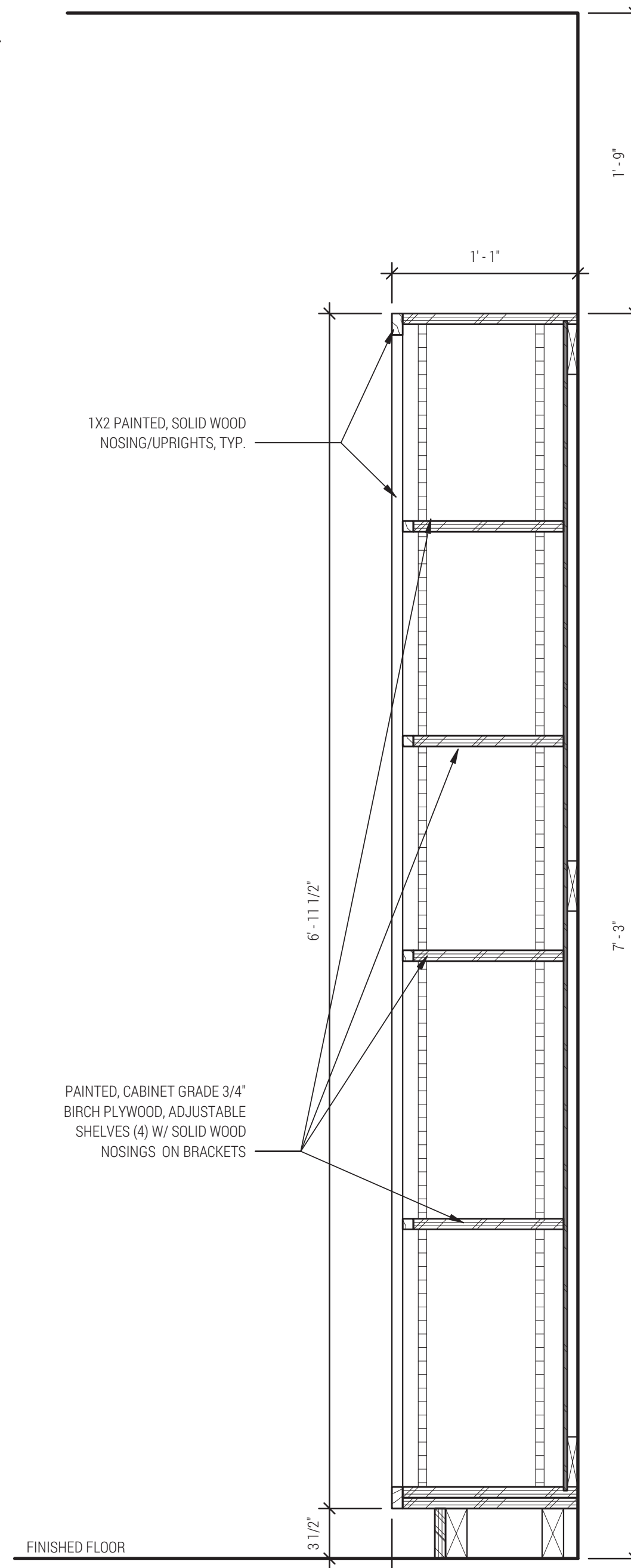
ADDENDA #1 - 100%
CONST. DOCS.

DATE: 12/19/18
DRAWN: BP/TJ
SCALE: AS NOTED

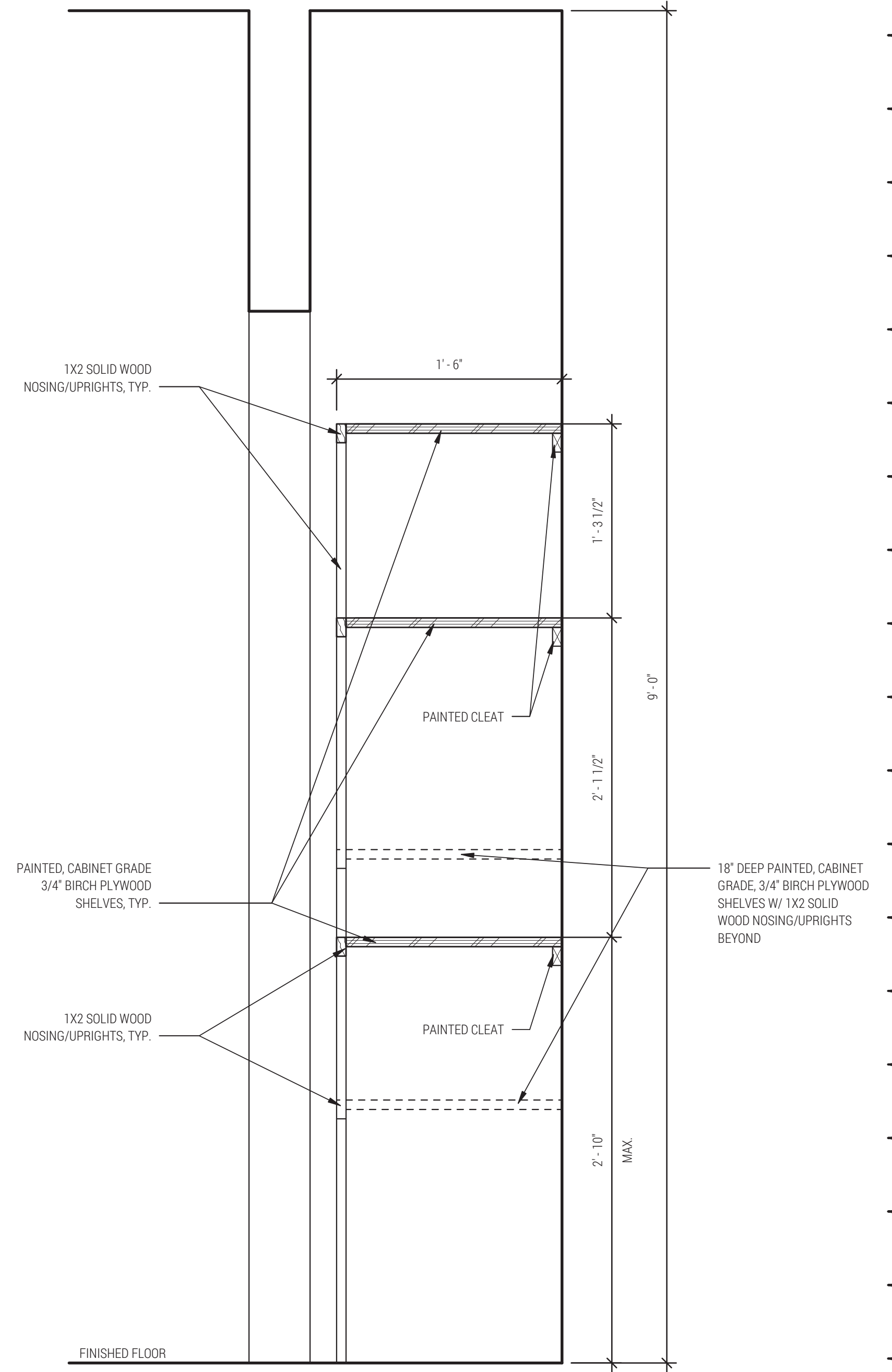
No.	Description	Date
Revision 1		4/2/19

INTERIOR
ELEVATIONS &
MILLWORK DETAILS

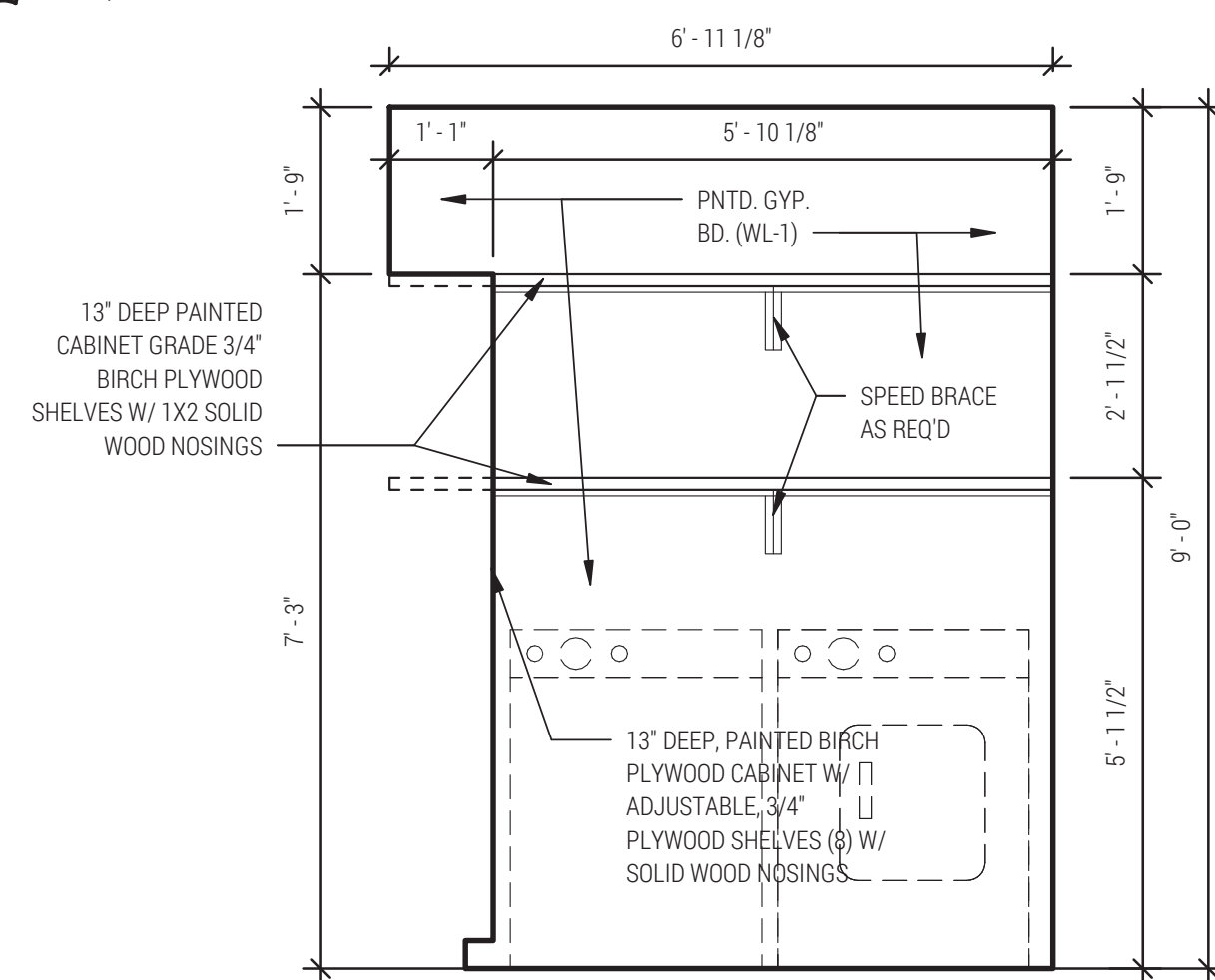
A-205



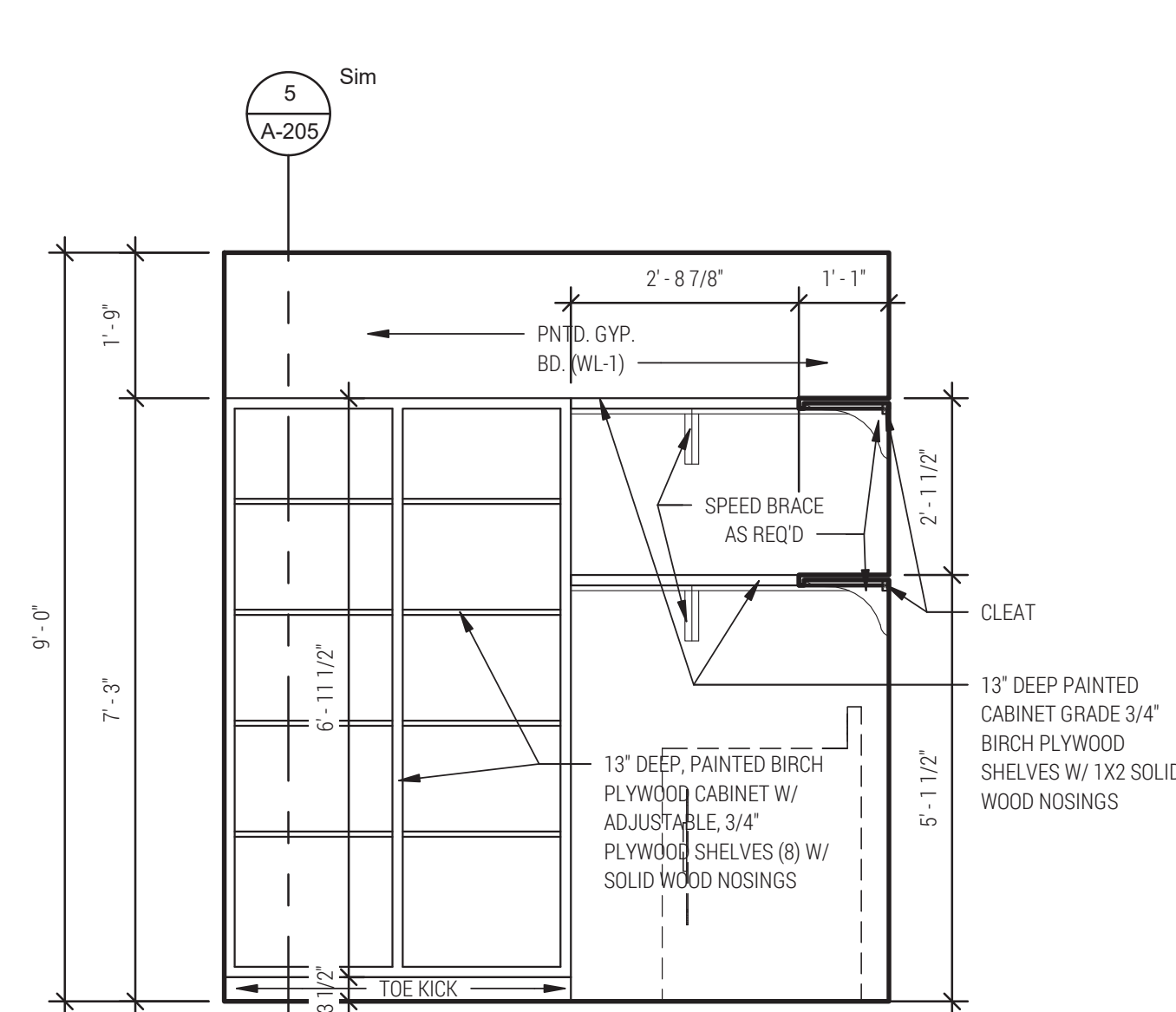
5 LAUNDRY MILLWORK DETAIL
SCALE: 1 1/2" = 1'-0"



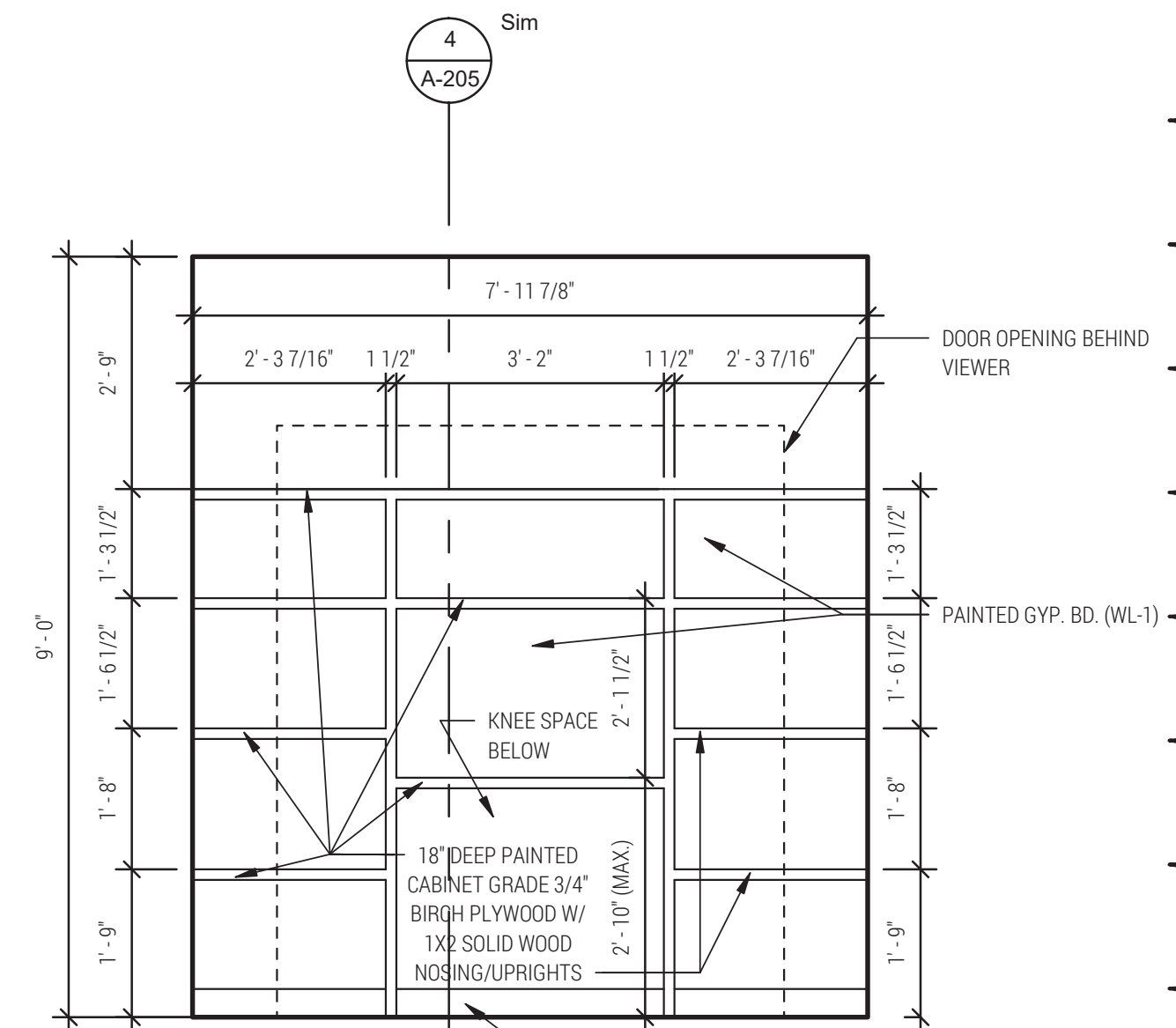
4 TECH. STORAGE MILLWORK DETAIL
SCALE: 1 1/2" = 1'-0"



3 LAUNDRY ROOM 107 - EAST
SCALE: 1/2" = 1'-0"



2 LAUNDRY ROOM 107 - NORTH
SCALE: 1/2" = 1'-0"



1 TECH. STORAGE ROOM SHELVES
SCALE: 1/2" = 1'-0"